

JLee Engineering, Inc. Approved By Jae Lee 11/06/2023

2022 Single-Family Residential Mandatory Requirements Summary

1.10.0101: General Requirements. The contractor shall provide all materials, labor, and equipment necessary to complete the work in accordance with the approved plans and specifications.

1.10.0102: Energy Performance. The contractor shall install energy-efficient lighting, fans, and appliances in accordance with the applicable code requirements.

1.10.0103: Mechanical Systems. The contractor shall install and maintain all mechanical systems, including heating, ventilation, and air conditioning, in accordance with the applicable code requirements.

1.10.0104: Electrical Systems. The contractor shall install and maintain all electrical systems, including wiring, outlets, switches, and lighting, in accordance with the applicable code requirements.

1.10.0105: Plumbing and Water Supply. The contractor shall install and maintain all plumbing and water supply systems, including pipes, fixtures, and water heaters, in accordance with the applicable code requirements.

1.10.0106: Fire and Life Safety. The contractor shall install and maintain all fire and life safety systems, including smoke detectors, fire extinguishers, and fire escape routes, in accordance with the applicable code requirements.

2022 Single-Family Residential Mandatory Requirements Summary

1.10.0107: HVAC System Heating and Cooling Loads Summary. The contractor shall calculate and summarize the heating and cooling loads for the HVAC system in accordance with the applicable code requirements.

1.10.0108: Mechanical Equipment Selection. The contractor shall select and specify the mechanical equipment, including furnaces, boilers, and air conditioning units, in accordance with the applicable code requirements.

1.10.0109: Ductwork and Distribution. The contractor shall install and maintain all ductwork and distribution systems, including ducts, registers, and diffusers, in accordance with the applicable code requirements.

2022 Single-Family Residential Mandatory Requirements Summary

1.10.0110: Mechanical Equipment Selection. The contractor shall select and specify the mechanical equipment, including furnaces, boilers, and air conditioning units, in accordance with the applicable code requirements.

1.10.0111: Ductwork and Distribution. The contractor shall install and maintain all ductwork and distribution systems, including ducts, registers, and diffusers, in accordance with the applicable code requirements.

1.10.0112: Mechanical Equipment Selection. The contractor shall select and specify the mechanical equipment, including furnaces, boilers, and air conditioning units, in accordance with the applicable code requirements.

2022 Single-Family Residential Mandatory Requirements Summary

1.10.0113: Mechanical Equipment Selection. The contractor shall select and specify the mechanical equipment, including furnaces, boilers, and air conditioning units, in accordance with the applicable code requirements.

1.10.0114: Ductwork and Distribution. The contractor shall install and maintain all ductwork and distribution systems, including ducts, registers, and diffusers, in accordance with the applicable code requirements.

1.10.0115: Mechanical Equipment Selection. The contractor shall select and specify the mechanical equipment, including furnaces, boilers, and air conditioning units, in accordance with the applicable code requirements.

2022 Single-Family Residential Mandatory Requirements Summary

1.10.0116: Mechanical Equipment Selection. The contractor shall select and specify the mechanical equipment, including furnaces, boilers, and air conditioning units, in accordance with the applicable code requirements.

1.10.0117: Ductwork and Distribution. The contractor shall install and maintain all ductwork and distribution systems, including ducts, registers, and diffusers, in accordance with the applicable code requirements.

1.10.0118: Mechanical Equipment Selection. The contractor shall select and specify the mechanical equipment, including furnaces, boilers, and air conditioning units, in accordance with the applicable code requirements.

2022 Single-Family Residential Mandatory Requirements Summary

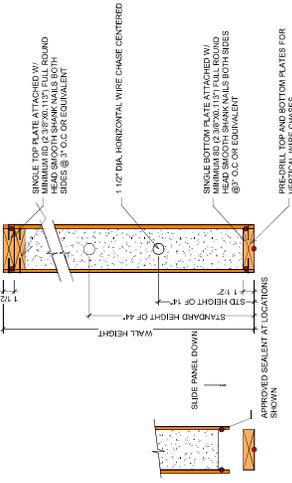
1.10.0119: Mechanical Equipment Selection. The contractor shall select and specify the mechanical equipment, including furnaces, boilers, and air conditioning units, in accordance with the applicable code requirements.

1.10.0120: Ductwork and Distribution. The contractor shall install and maintain all ductwork and distribution systems, including ducts, registers, and diffusers, in accordance with the applicable code requirements.

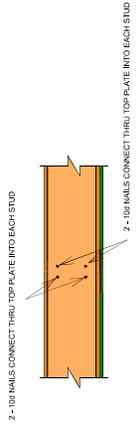
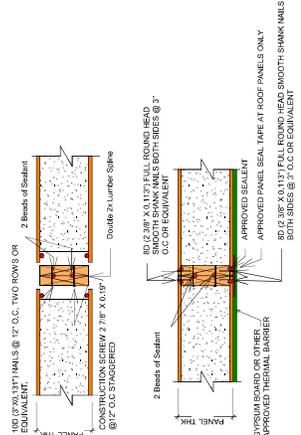
1.10.0121: Mechanical Equipment Selection. The contractor shall select and specify the mechanical equipment, including furnaces, boilers, and air conditioning units, in accordance with the applicable code requirements.



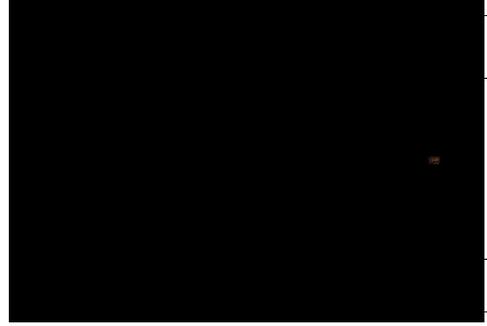
Project Information: Job #23-2478R, Residential Task Sheet, 3 Sheets, Date 8/7/2023



**5.- SIP Wall Section Single Top Plate
PF-700.2**

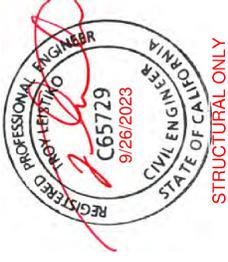


**6.- SIP Joint / Double Lumber Spline STD
PF-600.1**



Project number	100.27
Date	SEP/26/2023
Drawn by	JV
Checked by	_____
Scale	PF-06

Details

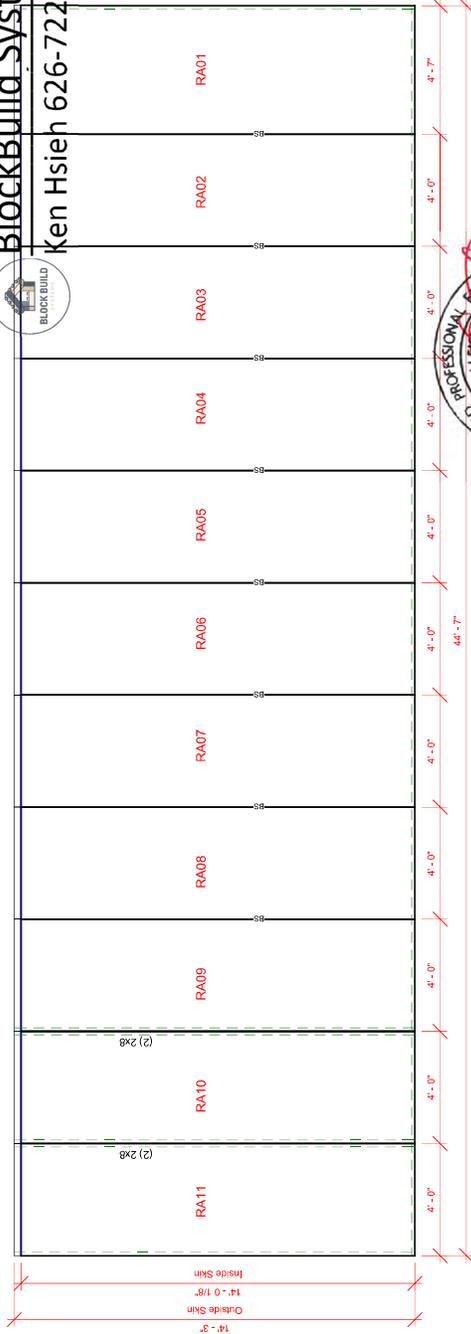


STRUCTURAL ONLY

BlockBuild Systems
Ken Hsieh 626-722-8852



BlockBuild Systems
Ken Hsieh 626-722-8852

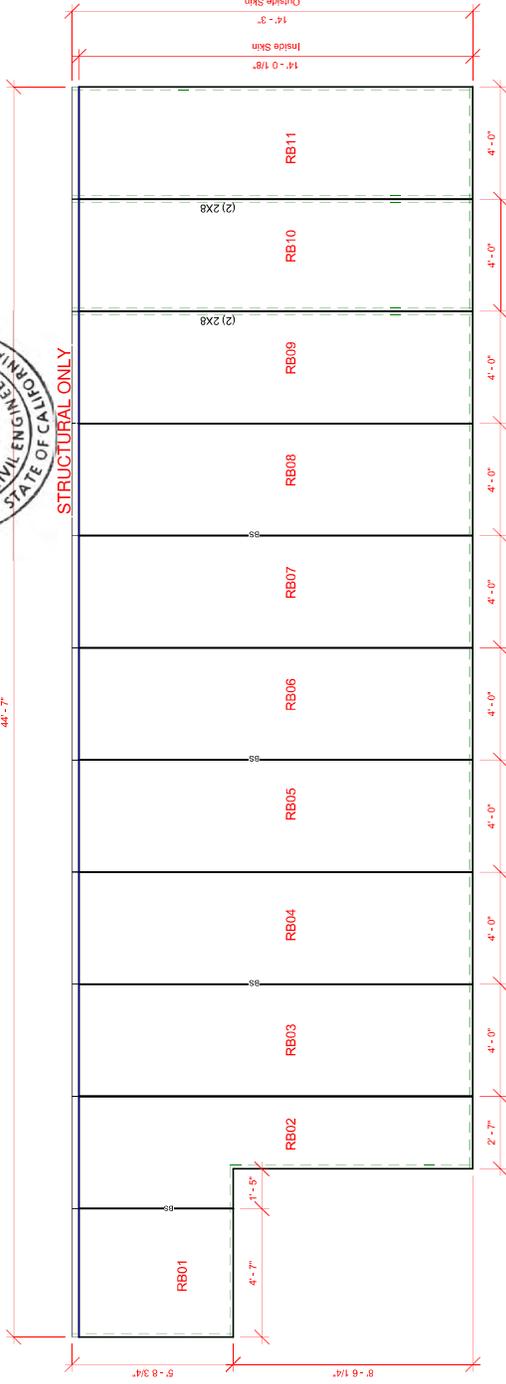


1 SECTION 2
1/4" = 1'-0"

VIEWS FROM INSIDE



STRUCTURAL ONLY

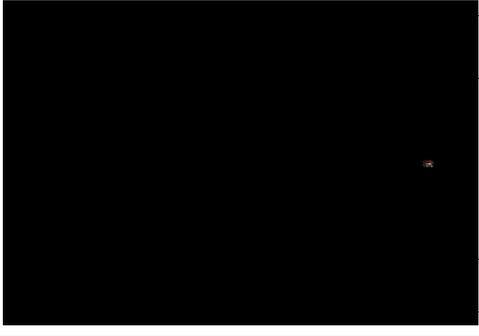


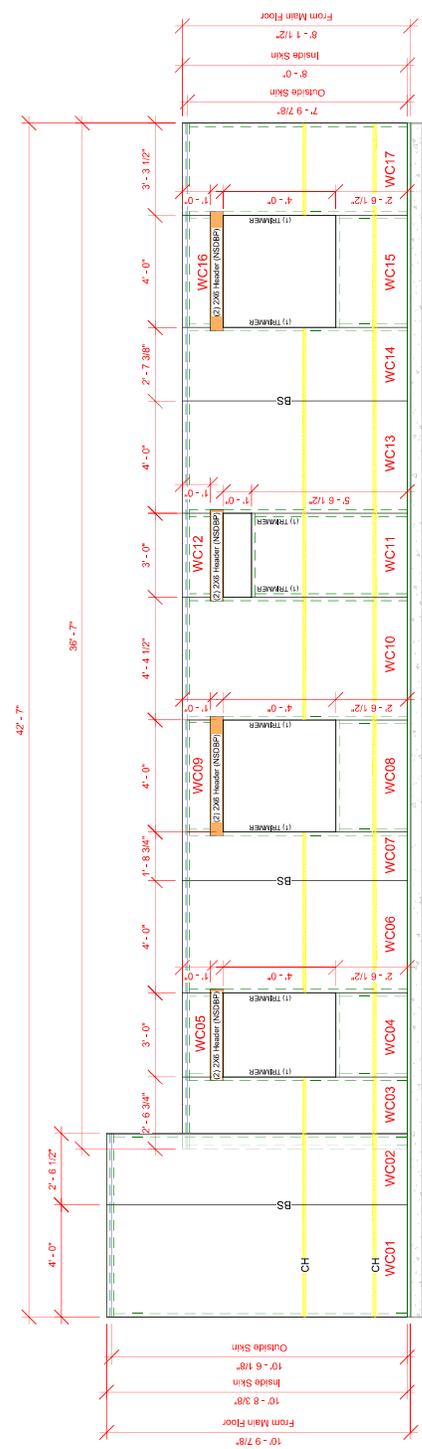
2 SECTION 3
1/4" = 1'-0"

VIEWS FROM INSIDE

Roof A - B

Project number	100.27
Date	SEP/26/2023
Drawn by	JV
Checked by	—
	PF-05
Scale	1/4" = 1'-0"

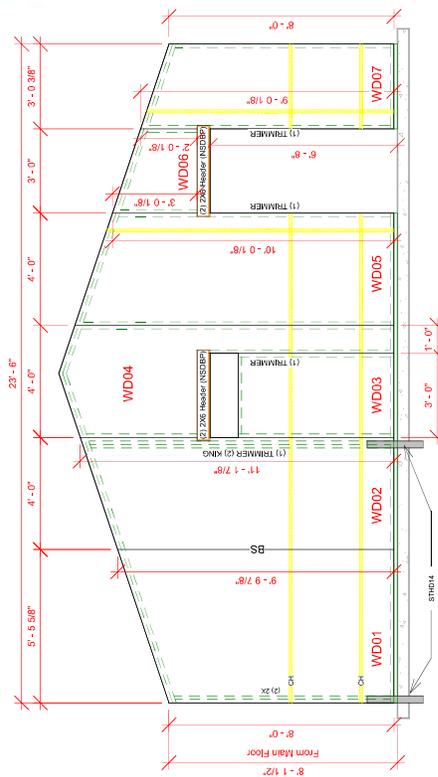




① WALL C
1/4" = 1'-0"

BlockBuild Systems
Ken Hsieh 626-722-8852
REGISTERED PROFESSIONAL ENGINEER
IN THE STATE OF CALIFORNIA
C65729
9/26/2023

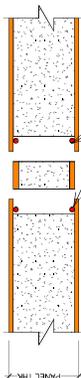
VIEWS FROM INSIDE



② WALL D
1/4" = 1'-0"

VIEWS FROM INSIDE

STRUCTURAL ONLY



SEALANT ATTACHED WITH MINIMUM 1/8" C 3/8" X 0.137 FULL ROUND HEAD SMOOTH SHANK NAILS BOTH SIDES @ 3" OC OR EQUIVALENT.



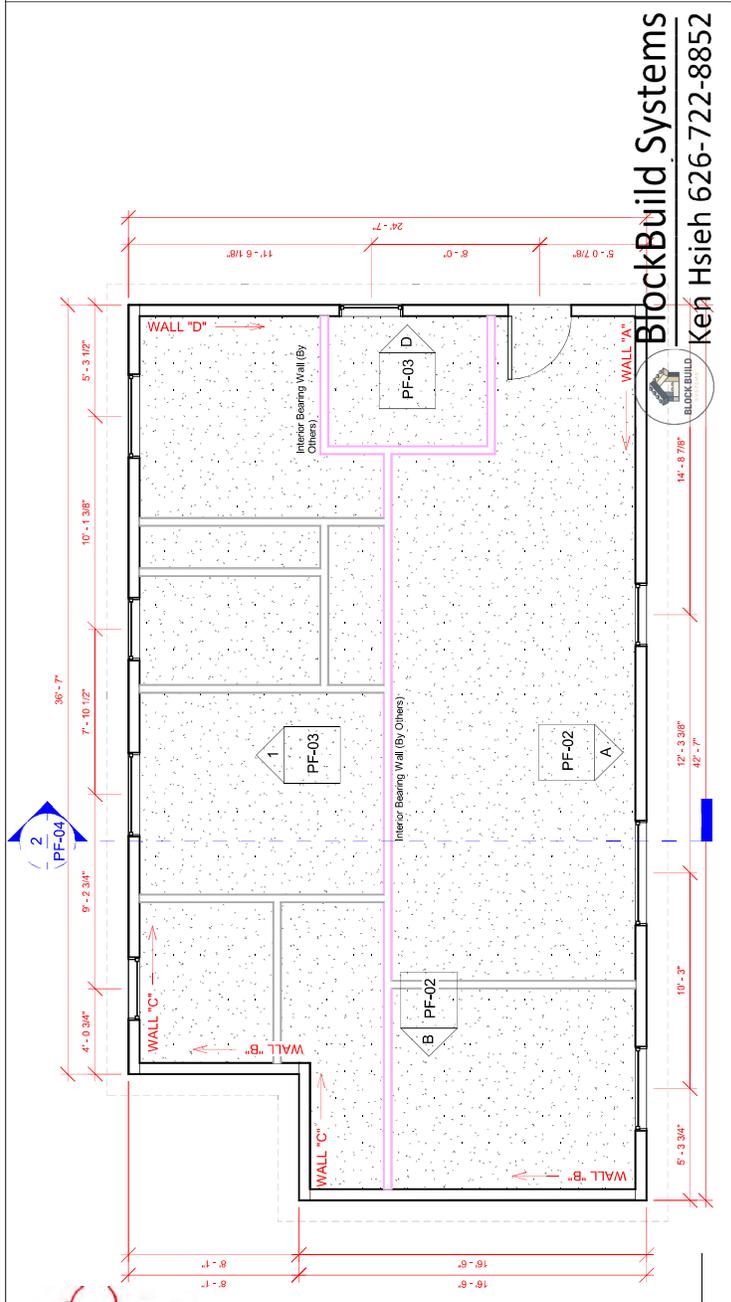
4.- SIP Joint / Blockspline SS PF-600.5 SS

Wall C - D

Project number	100.27
Date	SEP/26/2023
Drawn by	EF
Checked by	_____
	PF-03
Scale	Como se indica

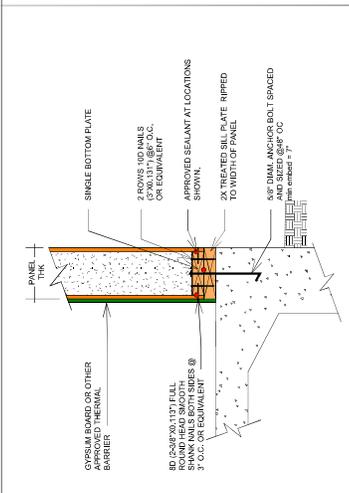


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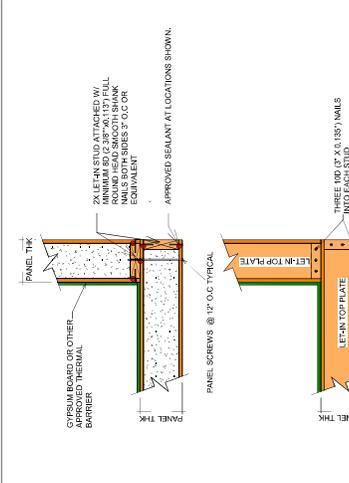


1 FLOOR PLAN
3/16" = 1'-0"

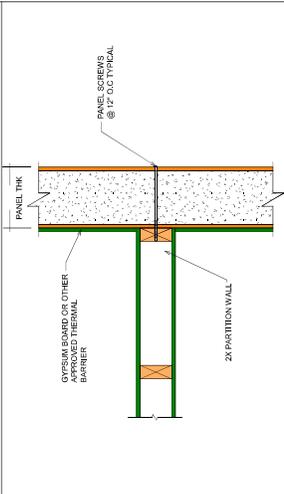
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Ken Hsieh 626-722-8852



1- SIP Wall / Slab_SS
PF-100.3 SS



2- SIP Wall Corner
PF-300.2



3- SIP Wall Connection to Interior Partition
PF-300.3

MARK	MINIMUM THICKNESS (IN)	CHORD	MINIMUM FACING CONNECTION	SOLE PLATE TO LOOK UP	SILL ANCHOR
SIPW3	4-1/2"	0.1315, 2 10" Nails, 3" o.c.	0.1315, 2 10" Nails, 3" o.c.	0.1315, 2 10" Nails, 3" o.c.	1/2" x 14" LAG WIRE NAILS @ 8" O.C. (0.140007)

No.	Description	Date

Floor Plan

Project number	100.27
Date	SEP/26/2023
Drawn by	JV
Checked by	—
Scale	Como se indica

GENERAL / STANDARD NOTES

BEFORE INSTALLATION OF YOUR PREFLEX PANELS, PREFLEX SHALL VERIFY THAT THE PANELS ARE PROPERLY ORDERED, SPECIFIED, AND SCHEDULED FOR PREFLEX INSTALLATION AND CONSTRUCTION GUIDE.

PREFLEX MAKES EVERY EFFORT TO SUPPLY COMPLETE PANELS AND DRAWINGS. HOWEVER, THE CONTRACTOR OR ARCHITECTURAL AND STRUCTURAL DRAWINGS PROVIDED TO US, IT IS THE RESPONSIBILITY OF THE CONTRACTOR OR OWNER TO CHECK AND VERIFY ALL DIMENSIONS, NOTES AND DETAILS ON THE PANEL DRAWINGS FOR COMPATIBILITY WITH THE BUILDING'S EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.

THE CONTRACTOR ASSUMES RESPONSIBILITY FOR OBTAINING FINAL COMMENTS AND APPROVAL FROM ALL LOCAL GOVERNING AGENCIES.

BY USE OF THESE DOCUMENTS, THE OWNER AND THE CONTRACTOR HEREBY AGREE TO REVIEW AND APPROVE THE PANELS AND ARE IN AGREEMENT WITH THEIR CONTENT.

IF ANY DISCREPANCIES OR OMISSIONS ARE FOUND, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN REPRESENTATIVE (IN WRITING) AS SOON AS POSSIBLE SO THAT CORRECTIONS CAN BE MADE.

FURTHERMORE, THE CONTRACTOR OR OWNER SHALL NOTIFY PREFLEX (IN WRITING) OF ALL CHANGES TO SITE AND FIELD CONDITIONS PRIOR TO THE START OF PANEL FABRICATION. IT IS UP TO THE CONTRACTOR OR OWNER TO PROVIDE A COMPLETE SET OF PANEL DRAWINGS AND TO FIT OF THE PREFLEX PANELS. PREFLEX DOES NOT ASSUME RESPONSIBILITY FOR ANY VARIANCES FROM THE FINAL SIGNED PANEL DRAWINGS AND SPECIFICATIONS OR CHANGES TO THE PANELS AND ARE BY NO MEANS A REPLACEMENT FOR ARCHITECTURAL OR STRUCTURAL DRAWINGS. THESE DRAWINGS EXCLUDE ANY DESIGN OF SITE, FOUNDATION, MECHANICAL, ELECTRICAL OR PLUMBING.

PREFLEX PANEL LAYOUT DRAWINGS ARE TO BE USED AS GUIDES FOR PANEL POSITIONING AND TO BE USED AS A REFERENCE FOR PANEL REPLACEMENT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PENETRATIONS ON PLANS, SECTIONS AND DETAILS TAKE PRECEDENCE OVER SCALED DRAWINGS.

THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS DURING CONSTRUCTION AND SHALL ENSURE COMPLIANCE TO CURRENT AND LOCAL REGULATIONS.

PANEL SCREWS @ 12" O.C W/ 2" MIN. PENETRATION INTO STRUCTURAL SUPPORT (I.N.O.).

FORM MATERIAL SPECIFICATIONS ON SIPS REFER TO:

EVALUATION REPORT #811
DATED: 07/12/2022

SEE ALSO: <https://www.preflexinc.com/>

RESIDENCE VENTILATION NOTE:

A MECHANICAL VENTILATION SYSTEM IS REQUIRED TO MAINTAIN PROPER HUMIDITY LEVELS IN THE HOME. EXCESS HUMIDITY IN THE HOME COULD RESULT IN A BUILD UP OF WATER VAPOR IN UNWANTED AREAS CAUSING SEVERE DAMAGE TO THE STRUCTURAL INSULATED PANEL OR OTHER BUILDING MATERIALS.

REVISION POLICY:

PREFLEX UNDERSTANDS THAT SOME PROJECTS MAY REQUIRE CHANGES TO THE PANELS OR ADJUSTMENTS WITHIN REASON. IT SHOULD BE UNDERSTOOD THAT EACH CUSTOMER INITIATED CHANGE TO SHOP DRAWINGS WILL BE CHARGED TO THE CUSTOMER. ADDITIONAL CHARGES MAY BE APPLIED AND MAY AFFECT DELIVERY.

REVIEWING CLIENT APPROVAL DRAWINGS

WHEN REVIEWING THESE DRAWINGS, BEGIN BY CHECKING THE FOLLOWING:

- CHECK AND CONFIRM THAT ALL OVERALL DIMENSIONS MATCH THOSE OF THE ARCHITECTURAL SET OF PLANS ISSUED FOR THE PROJECT.
- IF THERE ARE SIP ROOF PANELS FOR THIS PROJECT, AN OUTLINE OF THE SIP ROOF WILL BE SHOWN ON THE FLOOR PLAN. ALSO, SIP PANELS SHOULD BE IDENTIFIED ON THE ARCHITECTURAL LAYOUT AND CHECK ROOF PITCH(S), RIDGE CONFIGURATION, LAYOUT AND OVERHANG(S) AT EAVE(S) AND GABLE(S). IF THERE ARE SKYLIGHTS, CHECK THE ROUGH OPENING SIZE(S) AND LOCATION(S) OF THE ROOF PANELS TO BE USED FOR THE ARCHITECTURAL SET OF PLANS ISSUED FOR THIS PROJECT. IF THERE IS A SIP WALL PANEL PACKAGE FOR THIS PROJECT, THE SIP PANEL SEPARATED INTO FIRST AND SECOND FLOORS (WHEN NECESSARY). THE SIP WALL PANELS WILL BE CUT INTO LENGTHS AND WIDTHS TO FIT THE WALLS. THE WALL PANELS SHOULD BE LABELED, NOT LEAVE SOME WALL LENGTH WILL BE SHORTER DUE TO CORNER LAPS AND SIP WALL LENGTHS AND HEIGHTS. THICKNESS, CORNER LAPS AND SIP WALL LENGTHS AND HEIGHTS. CHECK THAT ALL WINDOW AND DOOR ROUGH OPENINGS ARE IDENTIFIED ON THE ARCHITECTURAL SET OF PLANS. CHECK THAT ALL WINDOW AND DOOR ROUGH OPENINGS ARE DIMENSIONED CORRECTLY. THESE DIMENSIONS SHOULD MATCH THOSE OF THE ARCHITECTURAL SET OF PLANS ISSUED FOR THE PROJECT.
- CHECK LOCATIONS OF ELECTRICAL CHASES.
- IF THERE IS A SIP FLOOR PANEL PACKAGE FOR THIS PROJECT, CHECK DIMENSIONS AND LOCATION OF POINT LOADS AND OPENINGS.

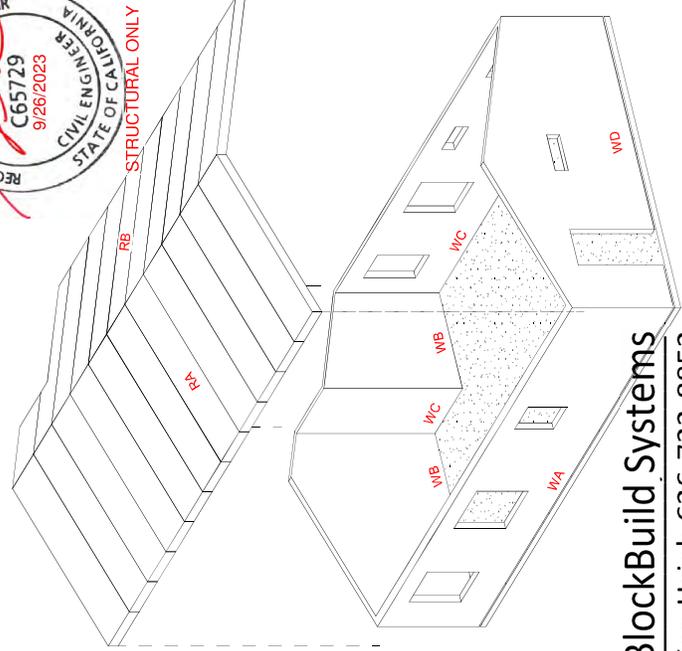
THESE DRAWINGS ARE TO BE REVIEWED BY THE OWNER / CONTRACTOR AND ARCHITECT PRIOR TO ANY CHANGES TO THE ARCHITECTURAL SET OF PLANS. IF ANY CHANGES / CORRECTIONS, NOTIFY THEM ON THESE DRAWINGS AND FORWARD TO PREFLEX FOR REVISIONS.

PANEL DESIGN LOADS	
RESIDENTIAL CODE OF: 2022 CALIFORNIA BUILDING CODE	
ROOF DEAD:	25 PSF
ROOF LIVE:	20 PSF
WIND SPEED:	95 MPH
EXPOSURE:	C
SEISMIC CATEGORY:	D

PANEL DESIGN CRITERIA	
HOUSE	EPS CORE
WALLS	OSB WIDTH
ROOF	7/16"
FLOOR	7/16"
	N/A

DRAWING SYMBOLS / COLOR KEY	
—	PANEL OUTLINE (LONG SKIN)
—	PANEL OUTLINE (SHORT SKIN)
—	DIMENSIONAL LUMBER
—	ELECTRICAL CHASE
—	SECTION / DETAIL INDICATOR
CH	WIRE CHASE LABEL
BS	OSB BLOCK SPLINE
WA00	WALL PANEL LABEL
RA00	ROOF PANEL LABEL
NSDBP	Not Supply Or Design By Preflex

Sheet List				
Sheet Name	Sheet Number	Sheet Issue Date	Drawn By	Checked By
Cover	PF-00	07/05/23	JV	
Floor Plan	PF-01	07/05/23	JV	
Wall A - B	PF-02	07/05/23	EF	
Wall C - D	PF-03	07/05/23	EF	
Roof Plan - Section	PF-04	07/05/23	EF	
Roof A - B	PF-05	07/05/23	JV	
Details	PF-06	07/05/23	JV	



BlockBuild Systems
Ken Hsieh 626-722-8852



1. CONTRACTOR OPTION: SAW-CUT OR POUR STOP.

2. REF ANCHOR FOR BELOW SLAB ANCHOR BARRIER. PREPARATION, REF GENERAL NOTES, SHEET S2.1 FOR SPACING REQUIREMENTS.

3. SAW-CUT DEPTH TO BE 2" ± 1/8" MIN. USE HERRIS.

NOTE: 1. INDICATES REBAR LAP REF SCHEDULE

1. TYP. CORNER REIN. SCALE: 3/8" = 1'-0"

2. TYP. SUB SLAB JOINTS SCALE: 3/8" = 1'-0"

3. TYP. PIPE PENETRATION THROUGH WALL OR BELOW FTG. SCALE: 3/8" = 1'-0"

4. TYP. ANCHORS SCHEDULE SCALE: 3/8" = 1'-0"

5. TYP. THICKENED EDGE W/ SLAB SCALE: 3/8" = 1'-0"

6. TYP. ANCHORS SCHEDULE SCALE: 3/8" = 1'-0"

7. TYP. THICKENED EDGE W/ SLAB SCALE: 3/8" = 1'-0"

8. TYP. ANCHORS SCHEDULE SCALE: 3/8" = 1'-0"

9. TYP. THICKENED SLAB ON GRADE SCALE: 3/8" = 1'-0"

10. TYP. HOLD-DOWN DETAIL AT FOUNDATION SCALE: 3/8" = 1'-0"

11. TYP. THICKENED SLAB ON GRADE SCALE: 3/8" = 1'-0"

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67. TYP. THICKENED SLAB ON GRADE SCALE: 3/8" = 1'-0"

REVISIONS

10/22/2023

JLee Engineering, Inc.
 Approved
 By Jae Lee
 11/06/2023

1ST SUBMITAL:
 2ND SUBMITAL:
 3RD SUBMITAL:
 PERMIT #

This set of plans and specifications MUST be approved by the City of Los Angeles Department of Public Works, Division of Building Safety, before any construction begins. No field or on-site alterations or changes to these plans are allowed without the written approval of the City of Los Angeles Department of Public Works, Division of Building Safety.



ANU STAMP APPROVAL

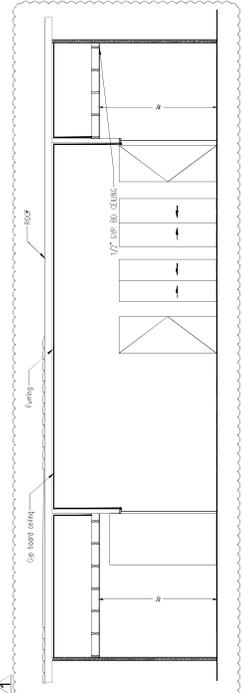
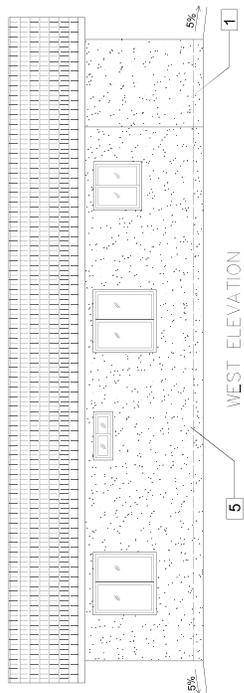
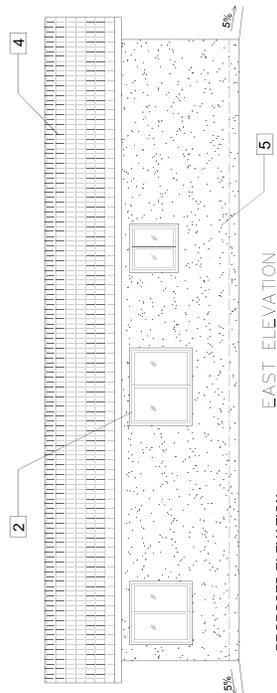
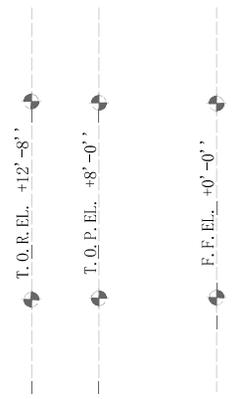
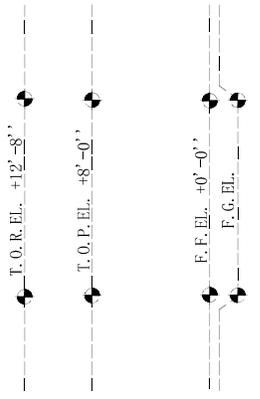
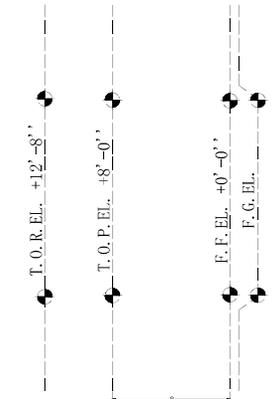
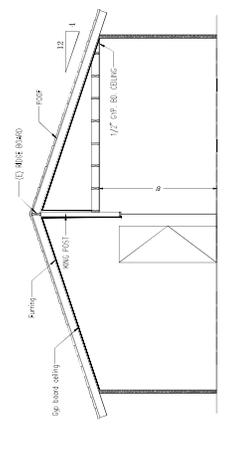
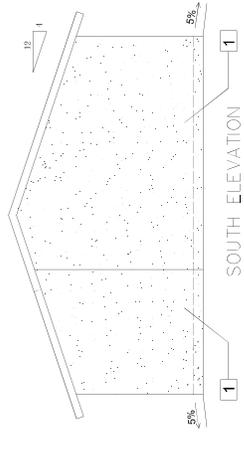
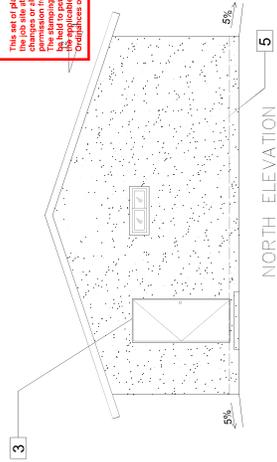


BlockBuild Systems
 Ken Hsieh 626-722-8852

Hacienda Heights, CA 91745

PROPOSED ADU
 ELEVATION

SHEET
A-6
 DATE
 07/26/2023



PROPOSED ELEVATION
 SCALE 1/4" = 1'-0"

- 1 NEW ADU WALL MATERIAL:
 STUCCO. COLOR MATCHES
 MAIN HOUSE.
- 2 WINDOW - VALUE WINDOWS
 & DOORS, FRAME IN WHITE
 COLOR
- 3 FRONT DOOR - MINI DOOR
 RIGHT-HAND INSWING 6-PANEL
 6-PANEL CLASSIC PAINTED
 FIBERGLASS SMOOTH PREHUNG
- 4 ROOF COVERING OF CLASS C OF BETTER, MIN. SRI 20.
- 5 FIBER CEMENT SIDING. COLOR TO MATCH EXISTING HOUSE

REVISIONS

10/22/2023
 11/06/2023
 Approved
 By Jae Lee
 11/06/2023
 JLee Engineering, Inc.
 Approved
 By Jae Lee
 11/06/2023

1ST SUBMITTAL:
 2ND SUBMITTAL:
 3RD SUBMITTAL:
 PERMIT #
 This set of plans and specifications MUST be approved by the City of Los Angeles Department of Public Works, Building Division, before any construction begins. Any changes or alterations to these plans without the City of Los Angeles Department of Public Works, Building Division approval are prohibited. The City of Los Angeles Department of Public Works, Building Division reserves the right to deny any permits or approvals if the plans do not comply with the applicable provisions of any Local Ordinance or State law.



ANU STAMP APPROVAL

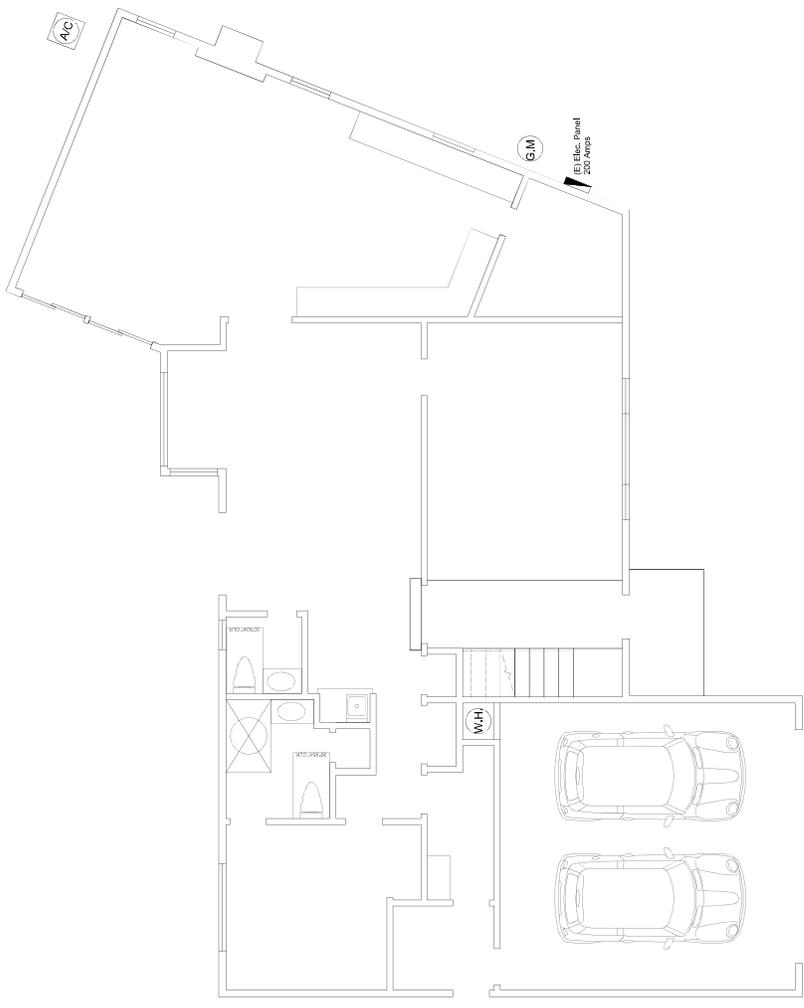


HAcenda Heights, CA 91745
 EXISTING MAIN HOUSE

FLOOR PLAN
 EXISTING MAIN HOUSE

SHEET
A-3
 DATE
 07/26/2023

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LEGEND	
	Existing
	(E) Elec. Panel 200A, 120/240V, 1Ø, 3w
	Tankless Water Heater
	Gas Meter
	Air Conditioning System

EXISTING MAIN HOUSE
 FLOOR PLAN (NO CHANGE)
 SCALE 1/4" = 1'-0"



REVISIONS

10/22/2023
 1ST SUBMITTAL:
 2ND SUBMITTAL:
 3RD SUBMITTAL:
 PERMIT #
 PROJECT #

JLee Engineering, Inc.
 Approved
 By Jae Lee
 11/06/2023

This set of plans and specifications MUST be approved by the City of Los Angeles Department of Public Works, Department of Public Works, Division of Building Safety, before any construction begins. Any changes or alterations to these plans without the City of Los Angeles Department of Public Works, Department of Public Works, Division of Building Safety, approval are prohibited by Ordinance 181,000 of the City of Los Angeles and the California Building Code.



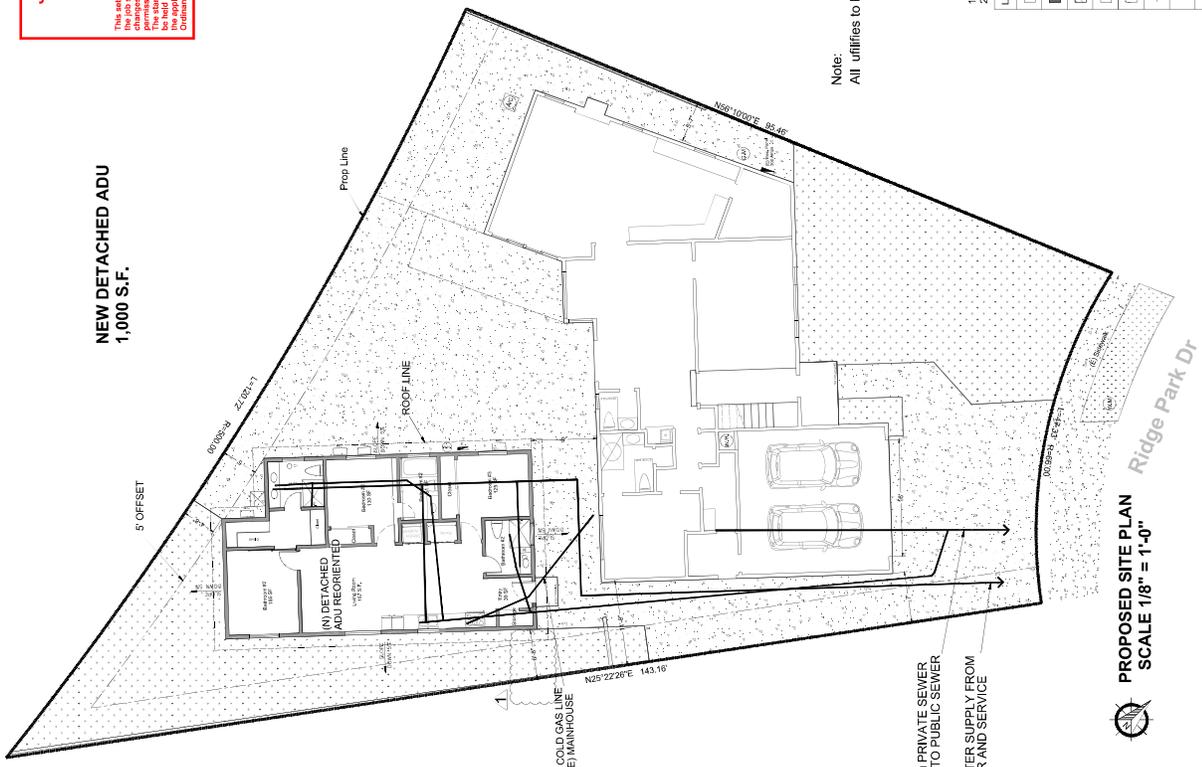
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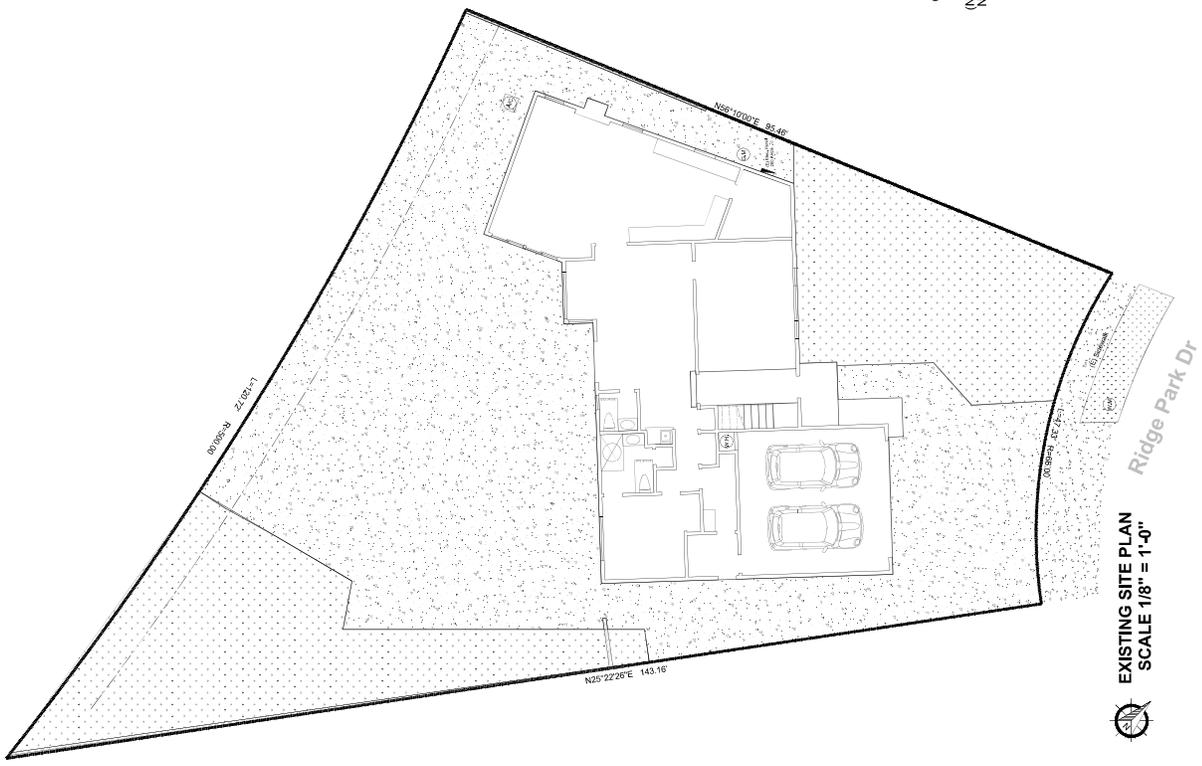
EXISTING & PROPOSED
 SHEET
A-1
 DATE
 07/26/2023

**NEW DETACHED ADU
 1,000 S.F.**



Note:
 All utilities to be field verified

**PROPOSED SITE PLAN
 SCALE 1/8" = 1'-0"**



**EXISTING SITE PLAN
 SCALE 1/8" = 1'-0"**

- 1. New ADU 1000 S.F.
- 2. Main House NO Change

LEGEND	Coloring	Symbol	Label
[Pattern]	[Color]	[Symbol]	Proposed ADU
[Pattern]	[Color]	[Symbol]	Existing ADU
[Pattern]	[Color]	[Symbol]	Proposed Main House
[Pattern]	[Color]	[Symbol]	Existing Main House
[Pattern]	[Color]	[Symbol]	Proposed Driveway
[Pattern]	[Color]	[Symbol]	Existing Driveway
[Pattern]	[Color]	[Symbol]	Proposed Parking
[Pattern]	[Color]	[Symbol]	Existing Parking
[Pattern]	[Color]	[Symbol]	Proposed Fencing
[Pattern]	[Color]	[Symbol]	Existing Fencing
[Pattern]	[Color]	[Symbol]	Proposed Utility
[Pattern]	[Color]	[Symbol]	Existing Utility

Note:
 1. All mechanical units of the dwelling unit would be screened to match the dwelling unit.
 2. All existing and proposed fencing would be screened to match the existing enclosure.
 3. FENCE PANELS, SOUTHERN WOODS IN COLOR. COLOR MATCHES (E) HOUSE

